

BUILDING CONSENT APPLICATION

BC 050247.

Private Bag 1, Leeston | Telephone (03) 324 5839 | Fax (03) 324 3531 | Email: admin@selwyn.govt.nz

THIS IS NOT A RESOURCE CONSENT APPLICATION

APPLICANT

Owners Name: J & L CONSTRUCTION

1/1A MURRAY HOMES

Applicant Name: J & L CONSTRUCTION LTD

(agent/contact)

Mailing address: P.O. Box 11198

(for correspondence)

SOCKELISMAN

CHASTLEHURCH

Phone:(daytime) 3480282 Fax: 3489219

Mobile number: —

Email: —

* Under section 30 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or leasehold estate or interest in the land, or to take a lease in the land, while the agreement remains in force.

SITE LOCATION DETAILS

(refer to your Rates Demand for details)

Site Address: REAR LOT 1 St/Rd

GEORGE ST ROLESTON

Rapid Number —

Valuation Roll Number 24051.336.00

Legal description LOT 1 DP 359723

This could include all or any of the following.- Lot, DP, Section, Block, or Township, etc.

This application is for (tick relevant box):

☐ Building consent (including Project Information Memorandum)

☒ Project Information Memorandum only (PIM)

☐ Building consent for PIM N°: —

TYPE OF BUILDING

Type of building work: (eg dwelling, commercial, farm building, change of use)

SINGLE STOREY DWELLING

Intended use: (eg domestic use, shop, implement storage, garage to bedroom)

RESIDENTIAL

Life expectancy of building:

Indefinite but not less than 50 years ☒

Or Specified as — years ☐

Is this project being staged? Yes ☐ No ☒

If yes please give us details on the second page of this application in the "notes by applicant" section.

Estimated Value (incl. GST) \$ 150 000
(Includes materials, labour and siteworks)

FLOOR AREAS

Floor areas are for new work only:

Ground floor: 153.4 m²

First floor: —

Site coverage will be assessed by planning staff.

CONFIDENTIALITY & SIGNED BY

We require our plans and/or specifications to remain confidential to protect copyright ☒

Note: If acting "for and on behalf" please read the following declaration before signing:-

"I hereby declare that I am authorised to act as Agent of the Applicant".

Signed by or for and on behalf of the Applicant

Owner ☒

or Agent ☐

Date: 18/1/2005

office use only

21 FEB 2005

KEY PERSONNEL

Builder:	J & L CONSTRUCTION LTD	Phone:	3480282
Address:	P.O. Box 11198 Sockburn	Fax:	3489219
Designer:	S MICHAEL	Phone:	3480282
Address:	c/o J & L CONSTRUCTION LTD	Fax:	3489219
Registered Drainlayer:	THEO NEWFIELD	Phone:	3388362
Address:	72 PENRUDDOCK RD CHCH	Registration No:	08059
Craftsman Plumber:	STEVIE HERMAN	Phone:	3445751
Address:	42A STONIBRIDGE WAY, PENRUDDOCK	Registration No:	14484
BIA Registered Private Inspector (Certifier)	—	Phone:	—
Address:	—	Fax:	—

NOTES BY APPLICANT

Other notes or comments which you as the applicant may wish to add

CHECKLIST

Have you enclosed with your application:-

- ☒ A current copy of your Certificate of Title showing your name. If this is not available, a copy of your sale and purchase agreement
- ☒ Advice of the estimated value of the building work (including GST)
- ☒ Two copies of all the information you are supplying.
- ☐ A deposit of \$175.00.
- ☒ Your builders name, and contact details.
- ☒ Your plumber and drainlayers name, and contact details. (where applicable)
- ☐ Any cultural heritage significance of the building.
- ☐ Specific arrangements for multiple or unusual inspections

Refer to individual checklists for the specific information required for the type of project your are applying for.

Project Information Memorandum
050247
Section 31, Building Act 1991
Application

 J & L CONSTRUCTION
 C/- MURRAY HOMES
 P O BOX 11198 SOCKBURN
 CHRISTCHURCH

 No. 050247
 Issue date 9/03/05
 Application date 21/02/05

Project

Description	New (& prebuilt) House, Unit, Bach, Crib, Town House etc. Being Stage 1 of an intended 1 Stages DOMESTIC DWELLING
Intended Life	Indefinite, but not less than 50 years
Intended Use	3 BEDROOM DOMESTIC DWELLING WITH ATTACHED DOUBLE GARAGE 153.4sqm.
Estimated Value	\$150,000
Location	REAR LOT 1, GEORGE STREET, ROLLESTON
Legal Description	LOT 1 DP300703
Valuation No.	2405133600

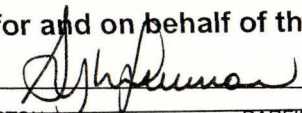
This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991, and any requirements of the building consent.

This project information memorandum includes:

___ Information identifying relevant special features of the land concerned.

FILE COPY

Signed for and on behalf of the Council:

Name: 

Date: 10/3/05

SERVICE CENTRES:
 LEESTON
 HIGH STREET, LEESTON
 PH: (03) 324-8080

DARFIELD
 SOUTH TERRACE, DARFIELD
 PH: (03) 318-8338

LINCOLN
 GERALD STREET, LINCOLN
 PH: (03) 325-3288

ROLLESTON COMMUNITY CENTRE
 ROLLESTON DRIVE, ROLLESTON
 PH: (03) 347-9669

BUILDING INFORMATION

For buildings designed in accordance with NZS 3604:1999 the following design loadings criteria are indicated as being acceptable on and around the proposed construction site.

Earthquake Zone :B
Snow Load [Sg] : 0.45 kPa
Site Wind Speed : 44m/sec High
Altitude :60m
Corrosion Zone :2

- 1] Solid foundation bearing to achieve the capacity specified in NZS 3604:1999 should be available at this site.

2]

Design floor height must take into account that the floor level above finished ground level shall be no less than:

For masonry veneer wall claddings

100mm if ground permanently paved, 150mm if unpaved

For cladding other than masonry

150mm if ground permanently paved, 225mm if unpaved

Your intended finished ground level (including proposed landscaping) must be taken into account when establishing your design floor height as the issue of your Code Compliance Certificate will rely on these requirements being met at completion of this project.

- 3] Saw cuts must be cut no later than 24 hours of concrete pour if temperature over 20 degrees, and within 48 hours if the temperature is below 20 degrees.

4]

For shrinkage control joints to comply with NZS 3604:1999:

Reinforced slabs:

a) Slabs up to 12 metres long between free joints can be reinforced with 668 mesh with sawcuts at major changes in plan.

b) Slabs up to between 12 and 24 metres long between free joints can be reinforced with 665 mesh with sawcuts at major changes in plan.

Unreinforced slabs:

Require sawcuts to form 3 metre by 3 metre maximum squares. Other shapes require a maximum ratio of length : width of 1.3:1 with a maximum length of 3 metres

All slabs over 24 metres long (without a free joint) are beyond the the scope of NZS 3604:1999 and require specific design.

A free joint is a joint that has no reinforcement passing through it and no bonding between vertical faces. This can be achieved by:-

a) if pouring separately with building paper or DPC vertically between surfaces.

b) If pouring both together with a metal control joint, the full width of the slab.

- 5] All structural timber fixings including bottom plate must have 50x50x3 washers unless otherwise specified by manufacturers instructions.

- 6] This project is located in a high wind zone. Fixings for the following areas are required in accordance with NZS 3604 : 1999.
- a) Top plate fixings
 - b) Truss to top plate fixings
 - c) Purlin fixings to 20% of the roof plane perimeter.
 - d) Top plate to lintel, lintel to plane trimmer to bottom plate.
- 7] All glazing must comply with N.Z.S.4223:1999.
- 8] Thermal insulation complying with the NZ Building Code E.3. and H1 will be required for this project. The requirements for a dwelling means the minimum insulation requirements are:-
- a) Roof: R2.5
 - b) Walls R1.9
 - c) Floor R1.3
- Unprotected insulation foil no longer achieves the required insulation rating for sub floor areas.
- 9] Recessed ceiling lighting must be installed to meet the requirements of the N.Z. Building Code. and must not:
- (a) Reduce insulation levels (H1)
 - (b) Cause durability problems in roof spaces due to condensation
 - (c) Cause a reduction in fire ratings (C1.2.4)
 - (d) Affect sound attenuation between tenancies (G6).

The Building Code references are bracketed alongside each subject above.
All downlights must be sealed unless extra insulation is added to achieve the required R rating. Batts must be cut away from lights in accordance with manufacturers instructions.

It is inappropriate to use downlights in areas such as bathrooms or kitchens unless they are fully sealed.

- 10] This consent has been processed using bracing values for the wall lining. If any other wall lining is used further information will be required, as this will be treated as an amendment to the original plans and a new bracing schedule and calculations will be required.
- 11] All masonry veneer must comply with NZ Building Code B1, B2 and E2. A means of compliance is N.Z.S.3604: 1999 Clause 11.7 and/or N.Z.S. 4210 and associated referenced standards.
- 12] For masonry veneer to comply with NZS 3604.1999 no section of veneer wall shall be less than 230mm long measured from the external face of the veneer.
- 13] To comply with NZBC B2 / AS1 full details of timber treatments will be required for your proposal. All framing members shall have minimum timber treatment levels complying with NZS 3602 : 2003.

PLEASE NOTE: - Minimum Requirements

Exterior wall framing to be H 1.2 in all but low risk single storey masonry veneer buildings. (Refer to NZS 3602 : 2003, fig 3 for examples of low risk masonry buildings).
Enclosed framing to balconies, balustrades, chimneys and flat roofs to be H 3.1.
Subfloor framing to be H 1.2.
Piles and other structural in ground materials to be H 5.

14]

ZINCALUME PRODUCTS:

These products must be installed in accordance with the manufacturer's recommendations and should take into account the need to avoid the following:

- a) Extended contact with water (ponding)
- b) Electrolytic corrosion through contact with dissimilar metals, including fixings.
- c) Corrosion through proximity to the ground or materials such as animal wastes.

15]

This project may incorporate/include health and safety issues which are the responsibility of Occupational Safety and Health (OSH), you may wish to contact OSH (phone 3665500) for further clarification on any issues.

16]

Entrance tiles must have the slip resistant surface to meet the requirements of the NZ Building Code D1: Access.

17]

All building work shall comply with the NZ Building Code notwithstanding any inconsistencies that may occur in the drawings and specifications.

18]

Proprietary cladding materials must be installed to the manufacturers specifications. This includes ensuring the material is of the correct thickness for the situation in which it is to be used.

19]

Spouting to be installed in accordance with the manufacturers specifications. Additional fixings may be required in some areas due to snow loads.

20]

Automatic smoke detection systems will need to be installed in all new detached dwellings and other household units where there is not already a requirement for them, these will also need to be installed in existing buildings whenever alterations or upgrade work is undertaken.

Further information can be obtained by contacting Customer Services at Selwyn District Council – Leeston Office Ph: (03) 324 5839

DRAINAGE & HEALTH INFORMATION

1]

Council sewer available.

2]

A tempering valve is to be installed in the hot water supply system to all sanitary fixtures as required by the NZ Building Code G12/ AS1, 6.13.

3]

Council Water Supply available.

4]

Stormwater to soakholes.

Discharge of stormwater to soakholes from roofs of buildings or structures, is covered by Environment Canterbury General Authorisation. Discharges from other hard standing areas will require a Discharge Consent from Environment Canterbury (phone customer services 3653828)

5]

Seismic restraints are required to hot water cylinders and header tanks as required by NZ Building Code G12/AS1.

6]

Design floor height must take into account the following:

- (a) The grade of waste pipes to the exterior of the building
- (b) The requirement for the top of the gully dish to be at least the minimum distance below the overflow level of the lowest sanitary fixture served by the drainage system.
- (c) For the purpose of excluding stormwater the top of the gully dish must be installed at the minimum height above ground level.
- (d) Where finished floor level does not allow sufficient height for waste pipes to discharge over the gully dish provision will need to be made for a watertight connection which allows for expansion and contraction.
- (e) In addition to the above, the height of the finished floor level above adjacent ground shall be no less than:

For masonry veneer wall claddings

100mm if ground permanently paved, 150mm if unpaved

For cladding other than masonry

150mm if ground permanently paved, 225mm if unpaved

7]

A Pressure Test as defined in NZ Building Code G12/AS1, 7.5 will be required on all plumbing Pipe Work.

8]

Where polybutylene pipe is used to pipe hot water from a storage water heater, the temperature shall be limited using methods described in the NZ Building Code Paragraph 6.13.2. and Figure 16(b) of G12.

9]

Valve vented hot water cylinders must be installed to comply with the Building Code. The cylinder must be fitted with:

- (a) thermostat
- (b) electrical cut off
- (c) either pressure or temperature/pressure relief valve
- (d) cold water relief valve

Relief discharge pipe to be copper with brass connection to the valve.

Relief discharge pipe to be at least the size of the valve outlet, take the most direct route and contain the least number of bends possible.

Discharge pipe to be copper.

- (a) To be on downward grade all the way.
- (b) To discharge to a safe place e.g. over a garden, and if over a gulley trap to discharge over the grate.
- (c) No plastic to be used (except for discharge from the safe tray)

If relief discharge pipe is over 3 metres a tundish is required within the same compartment as the cylinder.

Exception:

R.M.C. allow 9 metres without a tundish (only with copper or galvanised pipe).

Buteline and Dux pipe manufactures allow use of their products as a discharge pipe under defined conditions. (as an alternative solution to the Building Code)

ENGINEERING INFORMATION

Sewer - Council sewage scheme available.

- Capital contribution is \$ 3104 plus \$5586 contribution is to be paid as part of any subdivision conditions.

Stormwater to ground disposal.

Water supply - Council water supply available. The supply is metered. The application fee is \$56.25. See attached form.

Connection fee of \$830 is due.

Capital contribution is \$2912.00.

Entrances – Form and seal vehicle entranceway minimum three metres wide between the property boundary and the edge of seal (urban)

PLANNING COMMENTS FOR PIM 050247

Buildings Compliance : Planner – Rachael Carruthers

Resource Consent Required?	NO
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Based on the plans and information supplied, the proposal to erect a dwelling and attached garage complies with the relevant provisions of the Transitional and Proposed district plans and no resource consent is required.

Activity: Domestic dwelling – rear unit

Zoning: Residential 2, Ellesmere Section, Transitional District Plan
Living 1, Selwyn Proposed District Plan

Resource consents granted/refused for this property:

RESOURCE CONSENT R304715 : BOUNDARY ADJUSTMENT : COMPLETION
CERTIFICATE 26/06/02

Designations: None found

Special Land Features:

The flight paths for Christchurch International Airport take air traffic over the general Rolleston area.

To enable us to process your Building Consent application when received please supply the following information:-

- 1] Two full sets of drawings and specifications for this project.
- 2] A truss design to the loadings detailed below a layout plan and truss fixing details including the location of any joist hangers will be required for this project.
Wind Load: 44m/sec High Snow Load: 0.45 kPa
- 3] Bracing calculations and layout plan based on the loadings below will be required for this project.
Wind Load: 44m/sec High Earthquake Zone:B
- 4] As the following work falls outside the scope of N.Z.S. 3604, verification from a suitably qualified engineer will be required for the following:
 - Garage Lintel.Council may accept a Producer Statement design in this instance.
- 5] This project contains habitable space that must comply with the NZ Building Code, including: B2, E1, E2, G4, G5, G7, G8, & H1. Please provide sufficient information to clearly indicate how you will comply with these requirements.
- 6] Please provide details of glazing to confirm compliance with N.Z.S. 4223.
- 7] Please provide the name, address and contact phone number of the builder for this project.
- 8] Please provide full details of timber treatment levels for this proposal.
- 9] A full and relevant specification pertaining to the proposed work. Headings for the specification clauses should include: Preliminary and General, Demolition, Site Works, Excavation, Concrete Work, Brick Work, Carpentry, Linings and Cladding, Joinery, Roofing, Plumbing and Drainage, Floor Coverings, Surface Finishes and Painting, and Glazing. Under these headings list the relevant Standards applying, note the materials used and specific installation instructions. The specification needs to include, details on timber species and treatment, surface finishes, fixtures and workmanship.

It is not sufficient to just state that all work is to comply with NZS3604 as this provides many different options.
- 10] Provide a complete floor plan to scale identifying the proposed location of automatic smoke alarms to sleeping areas and escape routes as per the NZ Building Code Section F7.

The name, address and contact telephone number of the Craftsman Plumber and Registered Drainlayer who are going to do the plumbing and drainlaying associated with this application.

12]

Please provide meaningful specifications that clearly indicate your proposed method of installing the Drainage and Plumbing work associated with this project so that it complies with the Objectives, and Functional Requirements, of the NZ Building Code. In relation to G12 & G13, please indicate your intention to use:

- A. Water Supplies (i) G12/A.S.1
- Or (ii) A.S.3500: Part 1 (excluding sections 6,7,& 12),and part 4.
- B. Foul Water (i) G13/A.S.1 and A.S.2.
- Or (ii) A.S.3500: Part 2. You will need to provide details including
cross sections clearly showing pipe sizes, lengths, grades, traps, vents, etc.
Also floor heights from natural ground level.



9 March, 2005

J & L CONSTRUCTION
C/- MURRAY HOMES
P O BOX 11198 SOCKBURN
CHRISTCHURCH

**Application No 050247 / DOMESTIC DWELLING
REAR LOT 1, GEORGE STREET, ROLLESTON**

INFORMATION TO APPLICANT.

The Project Information Memorandum may reveal matters affecting compliance with the NZ Building Code and other legislation. All documentation must be thoroughly checked as this may affect the completion of processing the Building Consent.

Costs associated with applications as confirmed by Council will be invoiced prior to issue of the Building Consent. Invoices need to be paid before Council can release a Building Consent.

PLEASE NOTE: There are 3 parts to an application.

- a) The Project Information Memorandum. (PIM) preliminary information.
- b) The Building Consent. (BC) Consent to Build.
- c) The Code Compliance Certificate. (CCC) Compliance acknowledgement.

No on-site work should commence until the Consented /Approved Plans are on site. Once the project is completed a CCC document needs to be requested by the Client and issued by Council. (This is required by Law)

Any subsequent alterations or amendments that necessitate the re-issuing of the Project Information Memorandum or Building Consent will incur additional charges, which will be invoiced separately.

If a CCC has been issued before further amendments being requested a new application will be required.

If processing of an application is to cease at any time during the process Council is to be notified as soon as possible in writing as charges for all administration and processing costs will be incurred up to that date.

For any enquires, please contact Selwyn District Council Building Control on telephone number 03 – 324-5839.

PIM APPLICATION WORKSHEET

PIM ONLY

NAME:

J & L CONSTRUCTION

CONSENT NO : BC

050247

BUILDING
PLUMBING & DRAINAGE

PLANNING

ASSETS

date
required

23/2/05

22/2/05

21/2/05

completed
& date

2/3/05

RMC 4/3/05

25/2/05

NOTES:

MURRAY HOMES

ch 25/2

CONSENT DUE FOR ISSUE BY:

25/2/05

PLUMBING & DRAINAGE

NZBC AS1/ G12 & G13

NZBC AS1/ AS 3500

P01
P02
P03
P04
P05
P06
P07
P08
P09
P10

P11
✓ P12
P13
P14
✓ P15
P16
✓ P17
P18
P19
P20

P21
P22
✓ P23
P24
P25
P26
P27
P28
P29
✓ P30

✓ P31
P32
P33
P34
✓ P35
P36
P37
✓ P38
P39
P40

P41
P42
P43
✓ P44
P45
P46
P47
P48
P49
P50

P51
P52
P53
P54
P55

Comments

More info

H03, H14.

ASSETS

sewer
✓ E00
✓ E01
E02
E03
E04

stormwater
✓ E05
E06
E07
E08
E09

hazards
E10
E11
E12
E13
E14

water
✓ E15
E15a
E16
E17
E18
E19

entrances
✓ E20
E21
E22
E23
E24

entrances
E25
E26
E27
E28
E29

comments

water

connection fee of \$830 is due
hospital contribution is \$2912

One assumes there will be a subⁱⁿ consent soon.

sewer

hospital contrib is \$3,104 + \$5,586
Contributions above as to be paid as part of any subdivision conditions.

The alternative to
the sewage contri-
bution is for
them to be paid
as a condⁿ of
subsid^{on}?
which do we prefer? Keep

BUILDING

NZS 3604:1999

NZS 1900

NZS 4203

AS/NZS 2918:2001

EARTHQUAKE B SNOW 0.45 WIND H ALTITUDE 60 CORROSION 2

SITE	FOUNDATIONS	SHELL		PB19	SOLID FUEL		PG09	CERTIFIER
☒ PS01	PF01	☒ PB01		PB20	PH01		PG10	PC01
PS02	PF02	PB02		PB21	PH02		PG11	PC02
PS03	PF03	☒ PB03		☒ PB22	PH03		PG12	PC03
PS04	PF04	☒ PB04		☒ PB23	PH04		PG13	PC04
PS05	☒ PF05	☒ PB05			PH05		PG14	PC05
PS06	☒ PF06	PB06			PH06		PG15	PC06
PS07	☒ PF07	☒ PB07			PH07	☒	PG16	PC07
PS08	☒ PF08	☒ PB08			PH08		PG17	PC08
PS09	☒ PF09	PB09	RELOCATES				PG18	
PS10	PF10	PB10		PR01	GENERAL		PG19	
PS11		PB11		PR02	PG01	☒	PG20	
PS12	STRUCTURE	PB12		PR03	PG02	☒	PG21	
PS13	☒ PT01	PB13		PR04	☒ PG03	☒	PG22	
PS14	☒ PT02	PB14		PR05	PG04		PG23	
PS15	PT03	☒ PB15		PR06	PG05		PG24	
	PT04	PB16			PG06			
	PT05	PB17			☒ PG07			
		PB18			PG08			

comments

More info / to enable us to process your building consent when received:

2 FULL SETS OF DRAWINGS & SPECIFICATIONS FOR THE PROJECT.

B01, B02, B04 - GARAGE UNTEL

B08, ~~B10~~, B12, B14, B26, B28, B29

Intended use 3 BEDROOM DOMESTIC DWELLING WITH

ATTACHED DOUBLE GARAGE (153.4m²).

BUILDING CONSENT & PIM COSTING

NUMBER

BC 050247

CODE COMPLIANCE CERTIFICATE COST

(Select and insert a, b or c value in \$ column)

a	(Multiple inspections)	\$60.00
b	(2 -4 inspections)	\$60.00
c	(1 inspection & SFH's)	\$40.00

ADMINISTRATION

UNITS

Rate/Unit

Processing Consent	5
Processing PIM	8
Issue, photocopy & administer consent	3
Inspection recording (enter number of inspections x 3)	

TOTAL ADMINISTRATION UNITS

A

x \$4.50

BUILDING

Processing PIM	8
Processing Building Consent	
Further Information	
Post Processing Allowance	

TOTAL BUILDING UNITS

B

AUDIT & APPROVAL OF CONSENT FOR ISSUE

SIGN OFF	C	2
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TOTAL HEALTH & APPROVAL UNITS

B+C →

x \$6.20

INSPECTION CONDITIONS

TYPE DETAIL

ADMIN & PROCESS
TOTAL →

1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	

TOTAL INSPECTIONS

E

PIM ONLY

INSPECTIONS	X	TRAVEL TIME	
E		X	F

E+F →

\$6.75

INSPECTIONS	X	DISTANCE	

TOTAL

x \$0.62

INSPECTIONS PLUS
TRAVEL COSTS

CONSULTANTS

PLANNING	3	X	\$7.875	\$	insert if applicable
ENGINEERING	FLAT RATE		\$17-00	\$	insert if applicable
PLANNING & ENGINEERING TOTAL				\$	

WATER CONNECTION FEE \$56-25 insert if applicable

C/T	P/S	OTHER	
\$	\$	\$	insert if applicable

GROSS TOTAL
LESS DEPOSIT

\$
\$

a/c

INFORMATION		COMMENT
intended Use		
habitable	✓	
non-habitable		
definition required (schedule)		
Site		
flood zone		
ground bearing		
notifications other authorities		
Fire Wall		
Floor Slab	✓	conc
mesh		
DPC		
Foundation		
reinforcing		
depth/width		
engineer certification		
Piles		
pile bracing		
pile fixings		
Truss Design		
wind speed		
snow load		
roof cladding	✓	collective
heavy/light		
Bracing		
calculations		
layout plan		
Garage Lintel		
type		
P/Statement		
Lintels/Beams		
span		
cantilevered lintels		
Producer Statement		
assumptions		
work covered (specifically)		
drawings		
Insulation		
Heating Type		
specifications		
interior environment G5		
Ventilation		
window safety-glass		
natural lighting		
extract ventilation G4		

INFORMATION		COMMENT
Exterior cladding		
masonry veneer	✓	
70/100 series		
stucco/plaster		
fibre cement		
weatherboard		
other		
2nd storey		
joist length		
supporting beams		
roof bracing		
2nd storey bracing		
load bearing walls		
stud sizing, long studs		
stairs/handrails spacings		
balconies/stairs from		
safety from falling		
Fire C1 – C4		
means of escape		
structural stability		
access routes		
Access & Facilities D1		
Compliance Schedule		
lighting F6		
warning systems F7		
signs F8		
Water		
supply		
backflow		
plumbing		
Sewer		
drainage		
disposal effluent		
Stormwater	✓	S/H.
need for consent		
Food Preparation G3		
Gas G10 – G11		
Sound		
tenancy separation G6		
Demolition		
Services		
Swimming Pools		
fencing		
hydrostatic valve		
non-slip surfaces		
Farm Building		
timber sizes		
pole hole depth/size		
bracing		

Comments: _____

Consent No.: 050247

Site Inspection Sheet

050247

Application

J & L CONSTRUCTION
C/- MURRAY HOMES
P O BOX 11198 SOCKBURN
CHRISTCHURCH

Overseer
Phone 1 3480282
Phone 2
Fax 348 9219

Project

Description New (& prebuilt) House, Unit, Bach, Crib, Town House etc.
Being Stage 1 of an intended 1 Stages
DOMESTIC DWELLING

Intended Life Indefinite, but not less than 50 years

Intended Use

Estimated Value

\$150,000

Location

REAR LOT 1, GEORGE STREET, ROLLESTON

Legal Description

LOT 1 DP300703

Valuation No.

2405133600

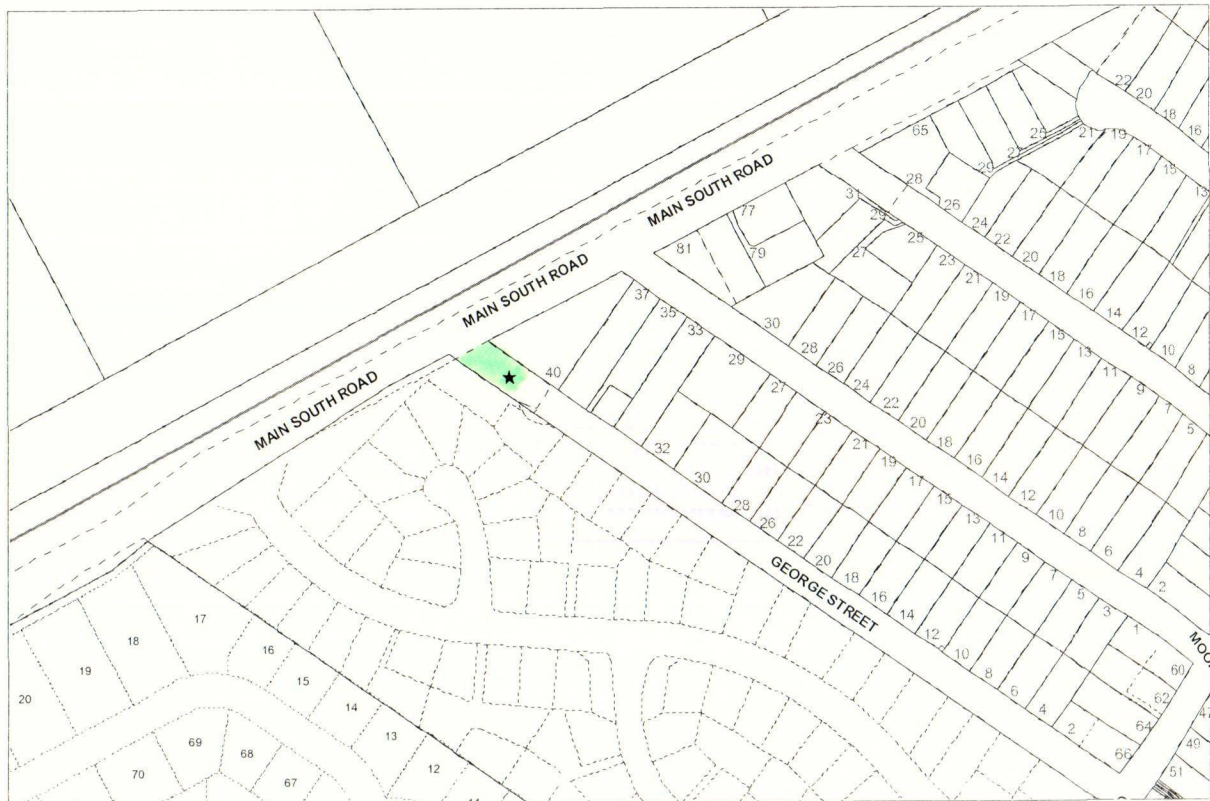
PIM ONLY

Builder: J & L CONSTRUCTION LTD P O BOX 11198, SOCKBURN, CHCH : 3480282

Designer: S MIKHAIL C/- J & L CONSTRUCTION : 3480282

Drainlayer: THEO NEWFIELD REG:08059 72 PENRUDDOCK RD, CHCH : 3388362

Plumber: STEVE HERMAN REG:14484 42A STONEBRIDGE WAY, PREBBLETON : 3445751



SIGN OFF BUILDING CONSENT:

BUILDING OFFICER:

Date

2/3/05

CONDITIONS

NO OF INSPECTIONS ALLOWED

EARTHQ: B SNOW: 0.45 WIND: H ALT: 60 CORROS: 2.

FILE NOTES

AMENDMENTS

DATE:

DESCRIPTION:

AGREEMENT FOR SALE AND PURCHASE OF REAL ESTATE

This form is approved by the Real Estate Institute of New Zealand and by the Auckland District Law Society.

DATE: 7th September 2004

VENDOR: SELWYN DISTRICT COUNCIL

PURCHASER: J & L CONSTRUCTION LIMITED

PROPERTY

Address of property: GEORGE STREET, ROLLESTON

Estate: FEE SIMPLE ~~LEASEHOLD~~ ~~CROSS LEASE~~ ~~UNIT TITLE~~ (if none is deleted fee simple)

Legal Description:

Area: 1022

Lot: 1

DP: 300703

CT: CB48B/177

PURCHASE PRICE

Purchase Price: \$ 58,000.00

Fifty-Eight Thousand Dollars

~~Price GST (if any) OR~~ Inclusive of GST (if any).
If neither is deleted the purchase price includes GST (if any).

GST date: (refer clause 12)

Deposit: (refer clause 2) \$ 5,800.00 Payable on confirmation of Further Terms of Sale

Balance of purchase price to be paid or satisfied as follows:

In Full, in Cash, on Possession Date

POSSESSION (refer clause 3)

Possession date: Refer Further Terms of Sale 19

Interest rate for late settlement: 11.00 % p.a.

CONDITIONS (refer clause 8)

Financial condition (if any):

Lender:

LIM required: ~~Yes~~/No

Amount required:

OIA Consent required: ~~Yes~~/No

Finance date:

Land Act/OIA date:

TENANCIES (if any)

Name of tenant:

Bond:

Rent:

Term:

Right of renewal:

CHATTELS

The following chattels if now situated on the property are included in the sale.

(strike out or add as applicable):

~~STOVE~~~~TV AERIALS~~~~FIXED FLOOR COVERINGS~~~~BLINDS~~~~CURTAINS~~~~GRAPES~~~~TELEPHONES~~~~LIGHT FITTINGS~~

Sale by (name of real estate agent):

McCROSTIE MREINZ

PO Box 16660 Christchurch Ph (03) 344 1444 Fax (03) 344 1448

BC050247
FILE COPY

It is agreed that the vendor sells and the purchaser purchases the above described property, and the chattels included in the sale, on the terms set out above, and the General and Further Terms of Sale

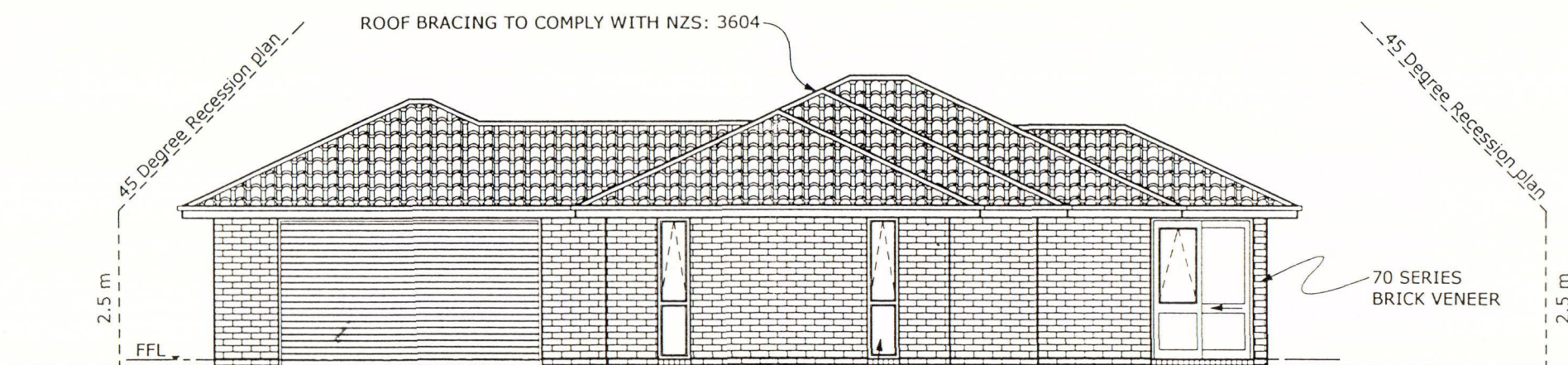


145.40 Sq.m (over plate)
153.40 Sq.m (over foundation)



Murray Homes

SHEET No: 5

**ELEVATION B****ELEVATION A**

ALUMINIUM WINDOWS AND DOORS

FILE COPY

BUILDER SHALL ENSURE ALL DIMENSIONS ARE CHECKED ON SITE AND ALL CONSTRUCTION WORK COMPLIES WITH THE NZ BUILDING CODE, LOCAL BODY AND RELEVANT NZ STANDARDS.



J & L Construction Ltd
2 Alloy Street, Sockburn
PO BOX 11 - 198
CHRISTCHURCH
TEL (03) 348 - 0282
FAX (03) 348 - 9219
www.murrayhomes.co.nz

PROPOSED RESIDENCE FOR**J & L CONSTRUCTION LTD****LOT 1 & 2, GEORGE STREET, ROLLESTON, CHCH**

AMENDMENT:

CHECKED:

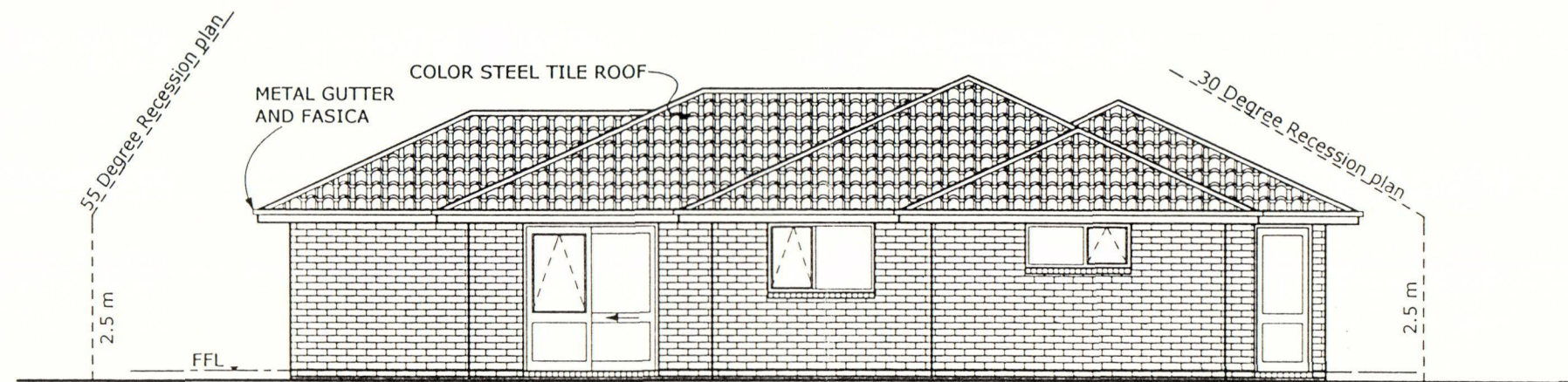
DRAWN BY: CHAO LUN CHEN

DATE: 15 / 2 / 2005

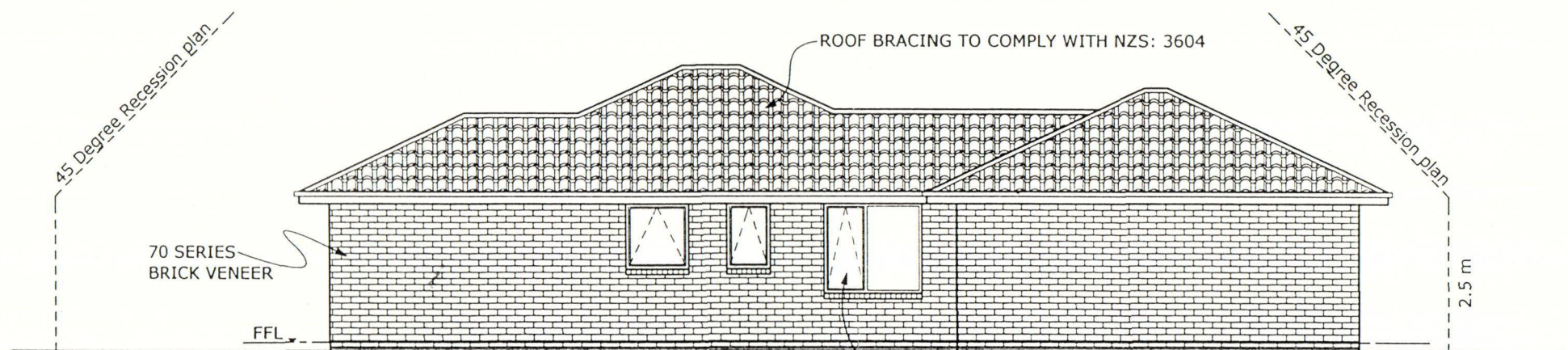
SCALE: 1 : 100

JOB No: 2005 - 07

SHEET No: 6



ELEVATION D



ELEVATION C

ALUMINIUM WINDOWS AND DOORS

FILE COPY

BC050247

BUILDER SHALL ENSURE ALL DIMENSIONS ARE CHECKED ON SITE AND ALL CONSTRUCTION WORK COMPLIES WITH THE NZ BUILDING CODE, LOCAL BODY AND RELEVANT NZ STANDARDS.



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PROPOSED RESIDENCE FOR
J & L CONSTRUCTION LTD
LOT 1 & 2, GEORGE STREET, ROLLESTON, CHCH

AMENDMENT:

CHECKED:

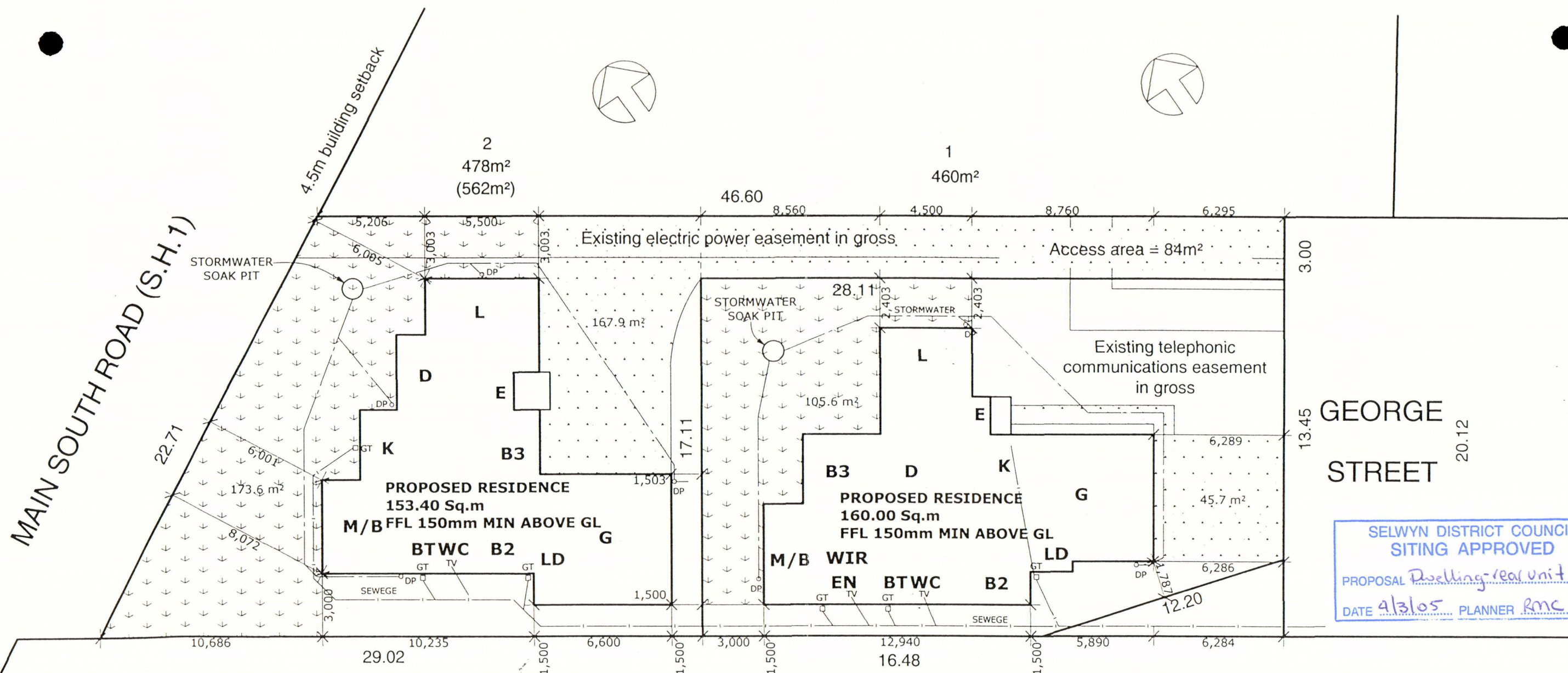
DRAWN BY: CHAO LUN CHEN

DATE: 15 / 2 / 2005

SCALE: 1 : 100

JOB No: 2005 - 07

SHEET No: 7



SITE PLAN

LOT 2, DP TBA
SITE AREA 460.00Sq.m

OVER FOUNDATION

PROPOSED RESIDENCE 153.40 Sq.m
FOR REAR UNIT SITE COVERAGE 32.1%

SITE PLAN

LOT 1, DP TBA
SITE AREA 460.00Sq.m

OVER FOUNDATION

PROPOSED RESIDENCE 160.00 Sq.m
FOR FRONT UNIT SITE COVERAGE 34.8%

LEGEND

- Sewer Piping Layout
- - - Stormwater Piping Layout
- Outdoor Living Area
- Plain Concrete To Driveway

BUILDER SHALL ENSURE ALL DIMENSIONS ARE CHECKED ON SITE AND ALL CONSTRUCTION WORK COMPLIES WITH THE NZ BUILDING CODE, LOCAL BODY AND RELEVANT NZ STANDARDS.



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PO BOX 11 - 198
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TEL (03) 348 - 0282
FAX (03) 348 - 9219
www.murrayhomes.co.nz

PROPOSED RESIDENCE FOR

J & L CONSTRUCTION LTD

LOT 1 & 2, GEORGE STREET, ROLLESTON, CHCH

AMENDMENT:

CHECKED:

DRAWN BY: CHAO LUN CHEN

DATE: 15 / 2 / 2005

SCALE: 1 : 200

JOB No: 2005 - 07

SHEET No: 1

6050247 FILE COPY

DWELLING

- ☒ Site Plan (to include all boundaries and existing buildings)
- ☒ Floor plans (complete floor plans for additions and alterations)
- ☐ Details of any demolition work
- ☒ Elevations
- ☐ Cross sections
- ☐ On site sewage treatment and disposal
- ☐ Potable water details
- ☐ Provisions for disposing of stormwater
- ☐ Wall bracing layout and calculations
- ☐ Truss design
- ☐ Producer Statement for specific design
- ☐ Written specifications

SOLID FUEL HEATER

- ☐ Complete floor plan indicating position of heater and smoke alarm(s)
- ☐ Fire installation instructions
- ☐ The fire is free standing
- ☐ The fire is built into an existing fireplace
- ☐ If second hand – include approved heating engineer's report
- ☐ A wetback is to be installed
- ☐ Include Craftsman Plumber's name if fire to be connected to a wetback.

SWIMMING & SPA POOLS

- ☐ Site plan indicating position of pool
- ☐ Pool specifications, paving and fencing details
- ☐ Backflow prevention, filter backwash and pool water disposal
- ☐ Hydrostatic valve if in high water table area

GARAGE

- ☐ Site Plan (to include all boundaries and existing buildings)
- ☐ Floor plans (complete floor plans for additions and alterations)
- ☐ Details of any demolition work
- ☐ Elevations
- ☐ Cross sections
- ☐ Provisions for disposing of stormwater
- ☐ Wall bracing layout and calculations
- ☐ Truss design
- ☐ Producer Statement for specific design

FARM BUILDINGS

- ☐ Site Plan (to include all boundaries and existing buildings)
- ☐ Floor plans (complete floor plans for additions and alterations)
- ☐ Details of any demolition work
- ☐ Elevations
- ☐ Cross sections
- ☐ Producer Statements for specific design

COMMERCIAL BUILDINGS

- ☐ as for dwelling plus:
- ☐ Producer statement design to cover specifically designed engineering work (often the entire building project)
- ☐ Fire report
- ☐ Disabled Facilities and Access
- ☐ Compliance Schedule details

Where producer statements have been referred to in the checklists, it is not compulsory to have a Producer Statement Design but it will reduce the cost of your consent and facilitate a quicker release. Alternatively Council can have your proposed design peer reviewed by an Engineer and the cost added to your consent.

BUILDING INFORMATION

Timing:

For building work up to a value of \$500,000 a maximum of ten working days is permitted between formal receipt of the application and issue of the consent. Achieving processing within this time frame is dependent on all necessary information being supplied with the application. Processing time for issue is stopped whenever further information is required and starts again when the information is received.

Fees:

A deposit payable of \$175.00 is required to begin processing your application. A quote for consent issue and inspection cost is provided with the Project Information Memorandum (PIM). Once the building consent has been approved, you will receive by mail notification of the balance of the fees payable.

INSPECTIONS

During the process of construction, inspections will be necessary to confirm all work complies with your Building Consent and the Building Code. The Council requires 24 hours notice prior to the Council's Building Official visit.

Inspections are generally required prior to covering up or closing in of any of the following:-

- Plumbing and drainage work
- Excavations for foundations
- Reinforcing steel for foundations
- Timber framing
- Insulation material
- Bracing elements
- Other building work noted as requiring inspection as a condition of a consent.
- Other inspections required by an engineer relating to a producer statement.

RESOURCE CONSENTS

When you apply for a Project Information Memorandum your application will be assessed by the Planning Department of Council to determine whether your application complies with the District Plans requirements.

Only if your application does not comply will a resource consent be required. You will be notified that a resource consent is required and it is recommended that you contact the Planning Department to determine the process from there. Telephone 324 8080.

CODE COMPLIANCE

A building consent is not completed until it has been issued with a full Code Compliance Certificate following the final satisfactory inspection.

Reasons and benefits of achieving Code Compliance Status

- Verify that the building and subcontractors have completed their work in accordance with the consent.
- Certify that the work complies with the NZ Building Code.
- Insurance—assists with claims, etc.
- Sale of property—a Land Information Memorandum (LIM) is normally requested prior to sale and the Solicitor acting for the purchaser will in the majority of cases require confirmation that Building Consents are issued with Code Compliance Certificates.